

Denton County Workforce Success Leadership Team

Friday, Jan. 17, 2020

8:30 a.m. to 10:00 a.m.

United Way of Denton County, Inc. (1314 Teasley Lane, Denton, TX)

Agenda

- | | |
|---|-----------------------|
| 1. Welcome & Introductions | D. Koontz |
| 2. Workgroups Update | |
| a. Working Families Success & Financial Empowerment | A. McElroy & T. Yan |
| b. Child Care | H. Bolton |
| 3. Backbone Support Updates | A. McElroy & T. Yan |
| 4. Network of Services Update: Economic Development | J. Rogers & M. Talley |
| 5. New Business | D. Koontz |
| 6. Adjourn | D. Koontz |

Next Meeting Date:

Friday, Feb. 21, 2020 – 8:30 a.m. to 10:00 a.m.





CITY OF DENTON ECONOMIC DEVELOPMENT

January 9, 2020

WHAT IS ECONOMIC DEVELOPMENT?

Economic development is a purposeful process that *creates, retains, or reinvests* wealth and opportunities in a defined area.

The Department of Economic Development promotes shared prosperity in Denton.

We offer support and services to businesses of all sectors and sizes through a variety of strategic efforts, including:

- recruiting new businesses and retaining/expanding current businesses
- fostering Denton's thriving culture of technology, innovation, and artistic creation
- attracting, developing, and retaining skilled and talented workers
- managing special districts & incentive agreements
- building relationships with Denton businesses and residents



DENTON'S ECONOMIC DEVELOPMENT STRUCTURE

History

The Denton Economic
Development Partnership

HISTORY

1987 – The City and the Denton Chamber of Commerce enter into a formal agreement to establish a joint economic development program

1996 – Local economic development sales tax election does not pass

2001 – City Council selects economic development as one of its top priorities

2003 – Strategic plan adopted, organizational plan established, and Economic Development Partnership between the City and the Denton Chamber of Commerce created

Today – City contracts with Chamber for marketing and recruitment functions.

ECONOMIC DEVELOPMENT PARTNERSHIP ROLES



ECONOMIC DEVELOPMENT PARTNERSHIP BOARD

Duties & Responsibilities:

- Make recommendations to City Council and Chamber Board of Directors
- Design economic development incentive policies
- Recommend economic development incentives
- Make recommendations regarding marketing and branding for Denton Enterprise Airport

Board Membership (12)

- 2 City Council Members
- 2 Chamber Board of Directors
- 2 top 20 property or sales tax payers
- 1 UNT President (or designee)
- 1 TWU Chancellor/President (or designee)
- 1 General aviation knowledge
- 1 Denton Black Chamber of Commerce
- 1 Denton Hispanic Chamber of Commerce
- 1 At-Large
- Chamber President, DISD Superintendent, and City Manager (ex-officio)



DENTON'S ECONOMIC DEVELOPMENT ENVIRONMENT

- Regionalism
- Denton's Advantages
- Denton's Challenges

DENTON'S ADVANTAGES

Location and Transportation

- Denton County rated #1 for projected strongest economic growth in the next 5 years (*Oxford Economics*)
- Situated on the I-35 Corridor where East and West intersect
- Denton has immediate access to highways, air, and rail

Workforce

- Abundant – 68,000 in Denton proper; 400,000 in Denton County; 3.4 million in DFW
- Educated and skilled – UNT, TWU, NCTC, DISD

Municipal Utilities

- Denton Municipal Electric – 6th largest municipally owned utility in Texas; at least 40% renewable energy for every customer (100% renewable by 2020)
- Competitive, stable rates; excellent reliability

DENTON'S ADVANTAGES

Quality of Life

- Engaged, creative, high-quality lifestyle at a low cost of living in a diverse community
- Ranked #1 Best Small Town in America by *Business Insider*

Affordability

- 92.4 cost of living score, lower than Dallas, Phoenix, Atlanta and Denver (*Council for Community and Economic Research*)

Technology and Connectivity

- #6 in a national study of high-tech capabilities and job creation (*Progressive Policy Institute*)
- Top 10 cities for data security (*The Boyd Company*)

DENTON'S CHALLENGES

- Lack of Type A/Type B sales tax for economic development
 - More than 600 other Texas cities have either Type A, Type B, or both
- “North of the lake” location
- Perceived difficulty of City’s development processes



HOW DENTON DOES ECONOMIC DEVELOPMENT

Strategic Efforts

STRATEGIC EFFORTS

Recruiting New Businesses

- Respond to Requests for Proposals and leads generated
- Respond to direct requests for information from companies, site selectors, and brokers
- Target industries include aviation/aerospace, advanced manufacturing, R&D, information technology, and sustainable/green technologies

Retaining/Expanding Existing Businesses

- Program in place to visit more than 70 businesses in Fiscal Year 18-19
- S.H.O.P. Denton, Small Business Saturday, and National Small Business Week programs
- Main Street/Downtown programs

Fostering Denton's Culture of Technology, Innovation, and Artistic Creation

- Stoke Denton Co-working and Entrepreneur Center
- Certified Music and Film-Friendly city
- State designated cultural district

STRATEGIC EFFORTS

Developing a vision for our future

- NEW comprehensive economic development strategic plan

Attracting, Developing, and Retaining Skilled and Talented Workers

- Coordination with DISD, NCTC, UNT, and TWU
- Assistance with Texas Workforce Commission and other grants

Managing Special Districts & Incentive Agreements

- 3 special districts
- 16 active or future incentives

Building Relationships with Denton Businesses and Residents

- Business/resident assistance via phone, email, and walk-in
- Presentations to community groups and associations
- Active and expanding BRE program
-



INCENTIVE AGREEMENTS

Tax Abatements
Chapter 380 Agreements

TAX ABATEMENTS AND CHAPTER 380 AGREEMENTS

■ **Active or Future Tax Abatements**

- Target Corporation
- Tetra Pak Materials
- Peterbilt Motors
- West Gate Business Park

■ **Active or Future Chapter 380 Agreements**

- Denton Crossing
- Unicorn Lake
- Rayzor Ranch
- Golden Triangle Mall
- Buc-ee's Travel Center
- Tyson Foods
- Mayday Manufacturing
- West Gate Business Park
- The Railyard
- Sally Beauty Supply
- WinCo Foods
- O'Reilly Hotel Partners



RESULTS

Downtown Denton
Net Revenue from Incentives

DOWNTOWN DENTON

Certified Main Street City since 1990

- 472 building rehabilitations/renovations
- 31 new construction projects
- Downtown TIF formed in 2010
- Downtown Reinvestment Grant Program (since 2007): \$1 public investment/\$36 private investment
 - \$129.5 million reinvested in Downtown (both public and private)

NET REVENUE FROM INCENTIVES

City of Denton

- Since 1999, the City of Denton has invested \$16.5 million in tax incentives
- Net property and sales tax revenue to the City from incentivized projects is \$51.4 million
- Jobs created or retained: 7,207

Denton County

- Net property tax revenue from City incentivized projects: \$5.9 million

Denton Independent School District

- Net property tax revenue from City incentivized projects: \$21.2 million

Denton County Transportation Authority

- Sales tax revenue since 2003 from City incentivized projects: \$11.2 million

RESOURCES AND CONTACT

www.cityofdenton.com/en-us/business/economic-development

www.dentonedp.com

www.facebook.com/DentonEDP/

Jessica Rogers

Director of Economic Development, City of Denton

Jessica.Rogers@cityofdenton.com

940-349-7531



Economic Development



**Top
Economic
Development
Wins**

**Corporations
choosing
Denton County**

Farmer Brothers

**Spring 2017, 1,800 employees nationwide, 100+
year old company, relocated from Torrance, CA**

Tanger Outlets

October 2017, 45th Tanger Outlet Mall, 80 plus retailers

Mary Kay Manufacturing

**Opened in 2018, 500+ employees, \$100M manufacturing
and research and development facility, 470,000 square foot
facility**

Charles Schwab

**Phase 1 scheduled to open in 2019, 70-acres in Westlake,
1,200 employees initially planning to grow to 5,000.**

500,000 square foot facility

**Top
Economic
Development
Wins**

**Corporations
choosing
Denton County**

Tyson

350K SQ FT - \$40M PROJECT - 100 JOBS -

Stanley Black & Decker DC

1.2 M SQ FT - 300 JOBS - NORTHLAKE

Stanley Black & Decker

**Fort Worth, TX - 375K SQ FT - 500 JOBS - MANUFACTURING -
\$80M PROJECT**

Thirty-One Gifts

Flower Mound, TX

**400+ Jobs (900 Actual) - \$38,000 - \$40,000 - Avg
Wage**

\$24.1 Million - \$4.6 Million - Real Property

\$19.5 Million - Business Personal Property

**Top
Economic
Development
Wins**

**Corporations
choosing
Denton County**

BellTown Solar

**Denton County (Unincorporated - Krum & Sanger
ISD) - 250 Construction Jobs - 2-3 Jobs - \$250
Million +**

Schluter

**Northlake - 375K SQ FT - 126 JOBS - MANUFACTURING - \$5 M
PROJECT**

Ericsson

**Lewisville - 400+ Jobs (900 Actual)
\$70,000 - Avg Wage - \$93,000 w/ Benefits
\$125-130 Million
\$80 Million - Real Property
\$45-\$50 Million - Business Personal Property**

PGA HEADQUARTERS



FIELDS DEVELOPMENT

Preliminary Master Plan



**FIELDS
DEVELOPMENT**

URBAN CORE



Why Denton County?

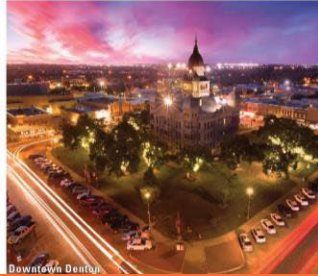
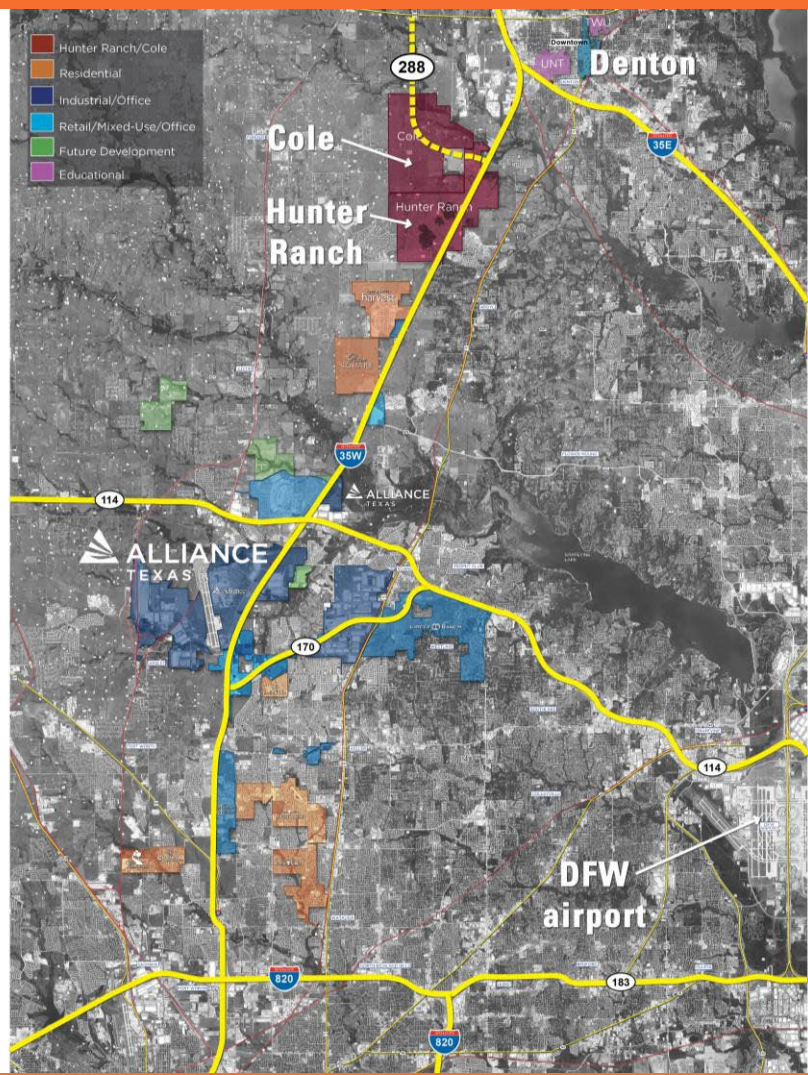




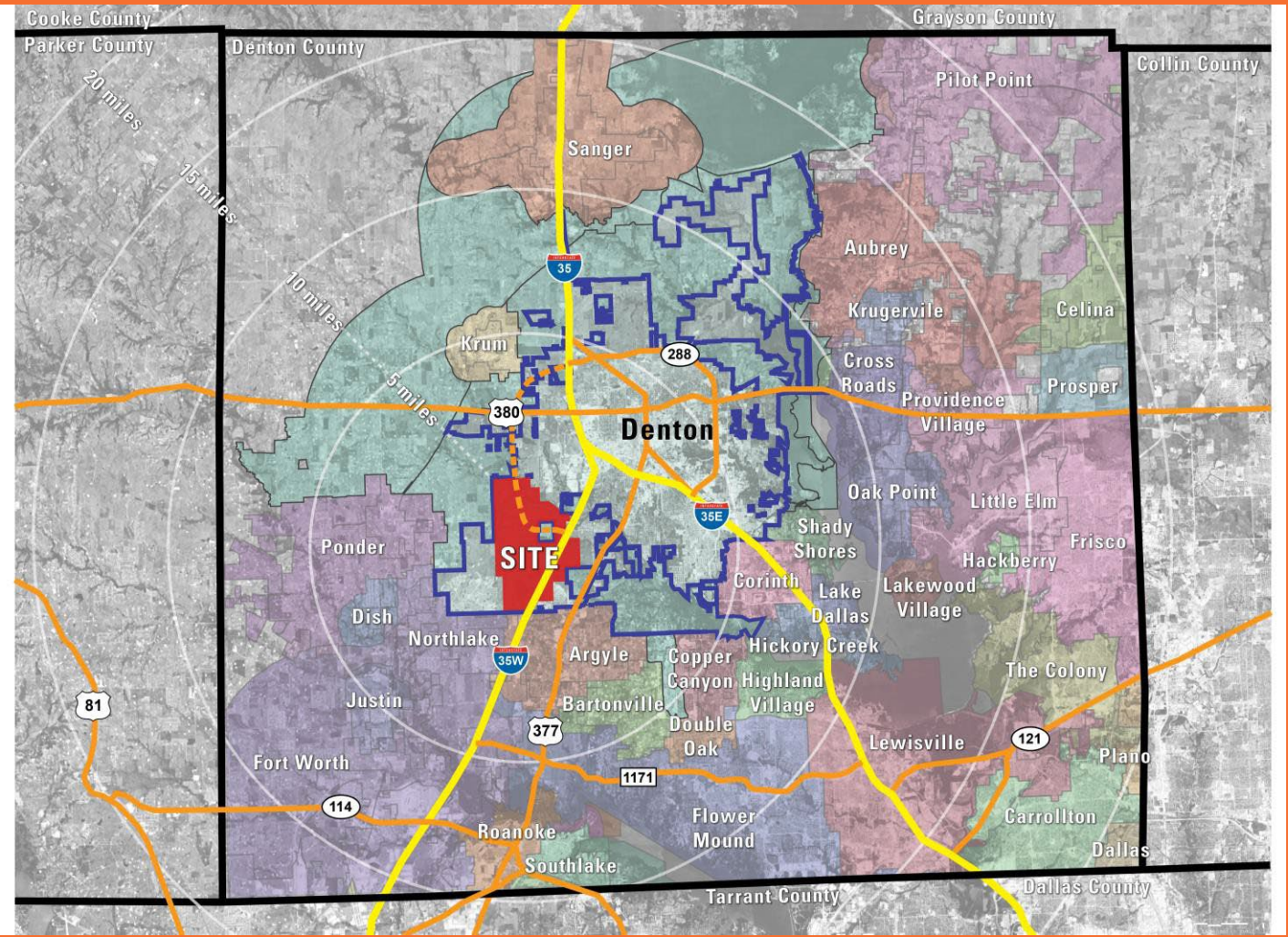
Hunter Ranch / Cole Ranch




Union Park - Little Elm, TX
By Hillwood Communities

I-35 Context



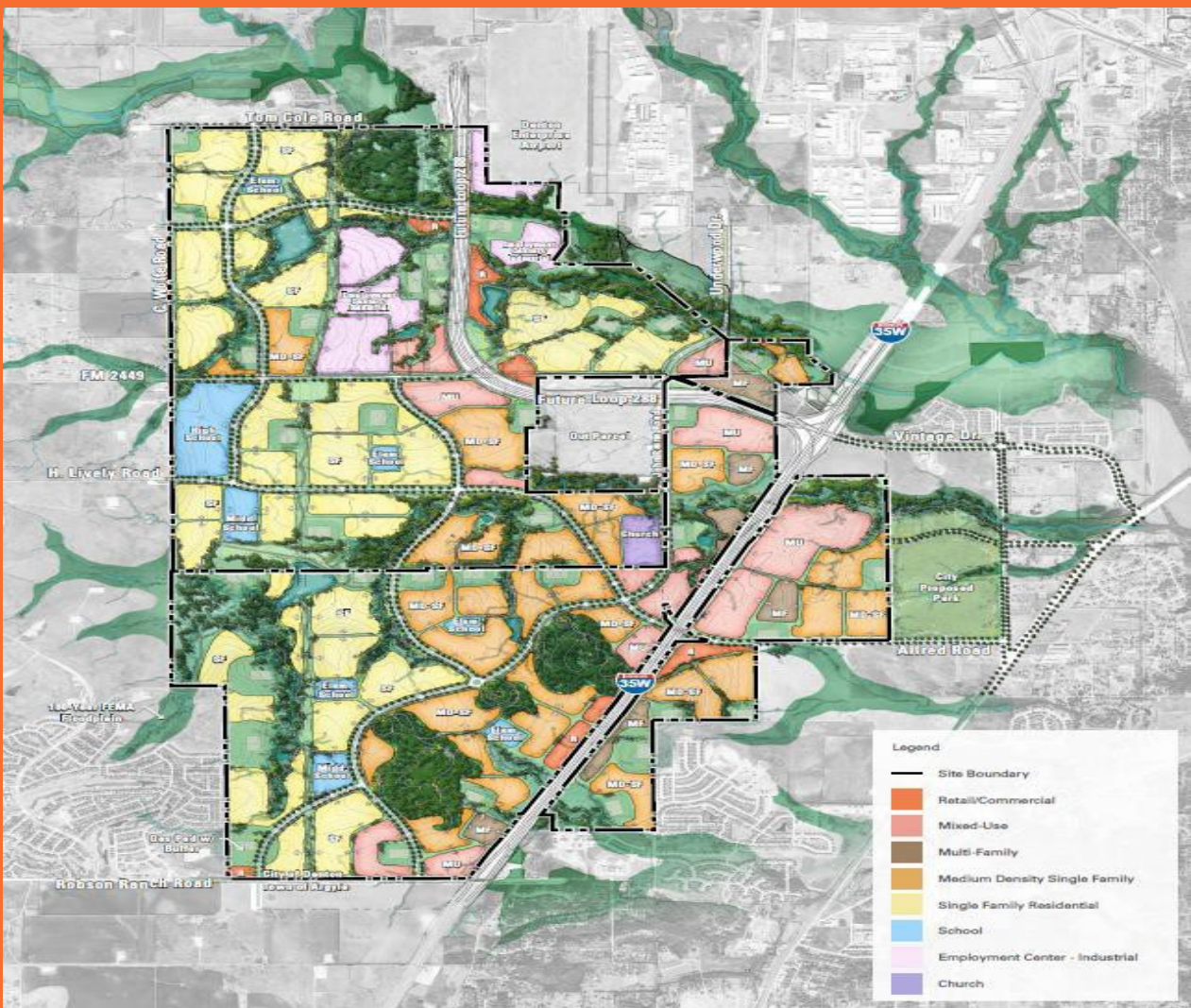
Denton County Context



-  Denton City boundary
-  Denton county boundary
-  Denton ETJ

Preliminary Development Plan

- Site boundary
- Retail / Commercial
- Mixed - use
- Multifamily
- Medium density single family
- Single family residential
- School
- Employment center - industrial
- Church



Transportation

*Road and Bridge
projects*



SH 114 US 377 Interchange

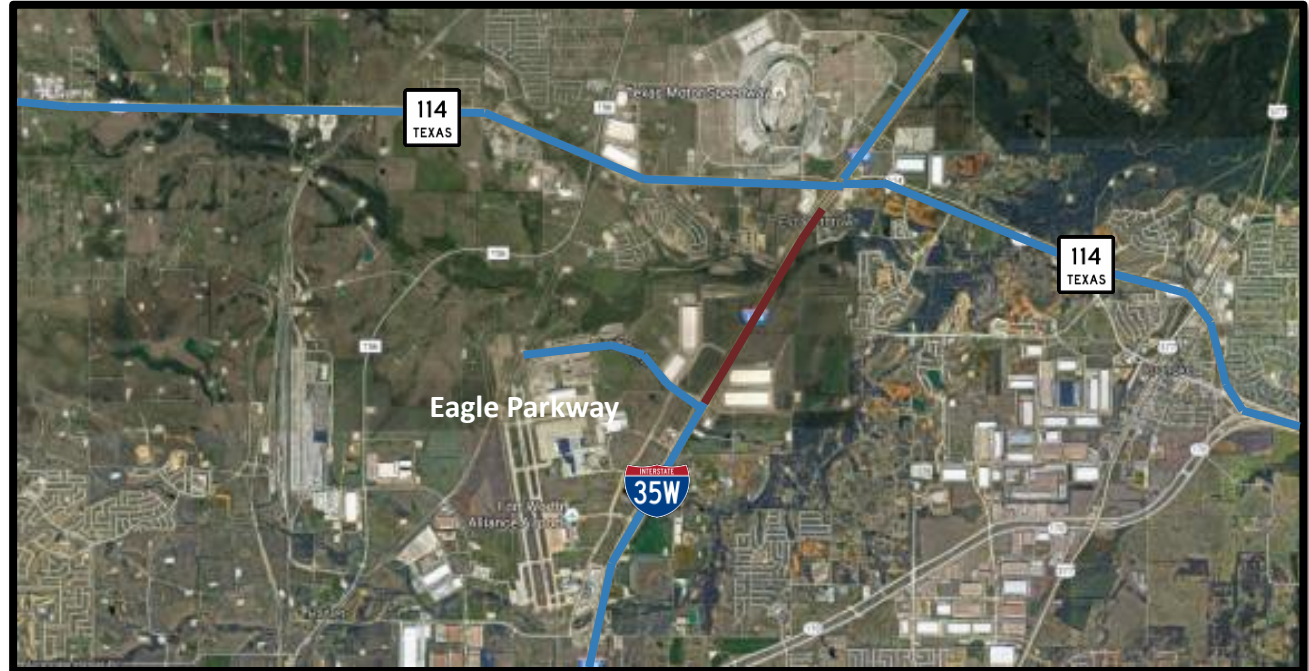
Project will construct 6-lane grade separation over US 377. Schematic was approved on October 17, 2018. Environmental clearance was received on November 30, 2018. The 100% plan set will be completed by the end of November 2019.



**IH-35W
Southbound
Frontage
Roads**

**Eagle
Parkway to
SH 114**

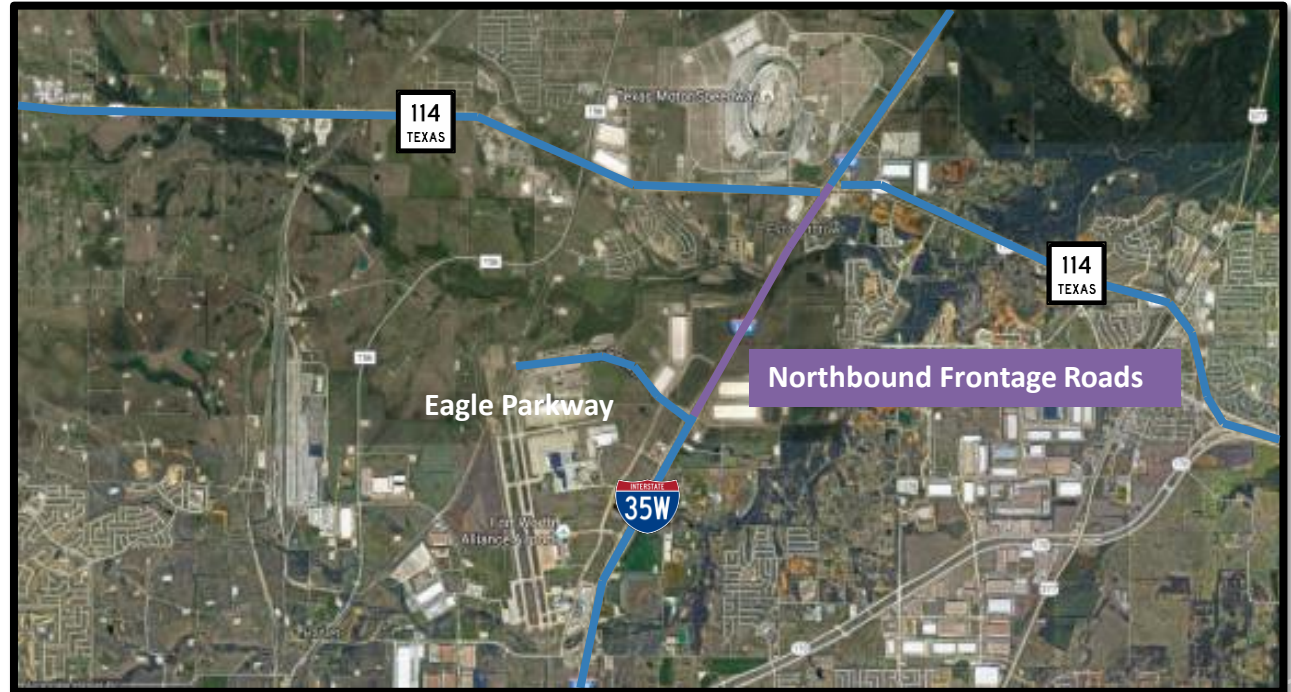
**Project added two lanes of one-way frontage roads.
Construction began in January 2016. Project was
completed in February 2019.**



**IH-35W
Northbound
Frontage
Road**

**Eagle
Parkway to
SH 114**

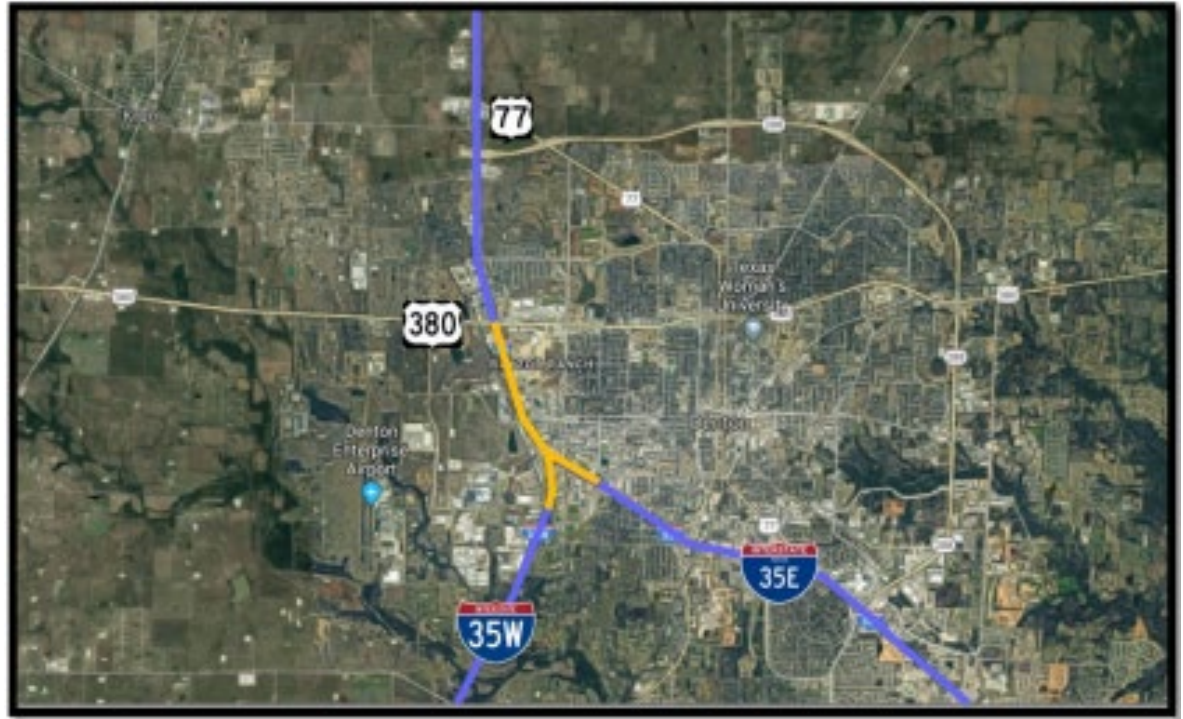
**Project is adding two lanes of one-way frontage roads.
Construction began in September 2017. Completion
expected in September 2019.**



**IH-35W
4-to-6 Lane**

380 to US77

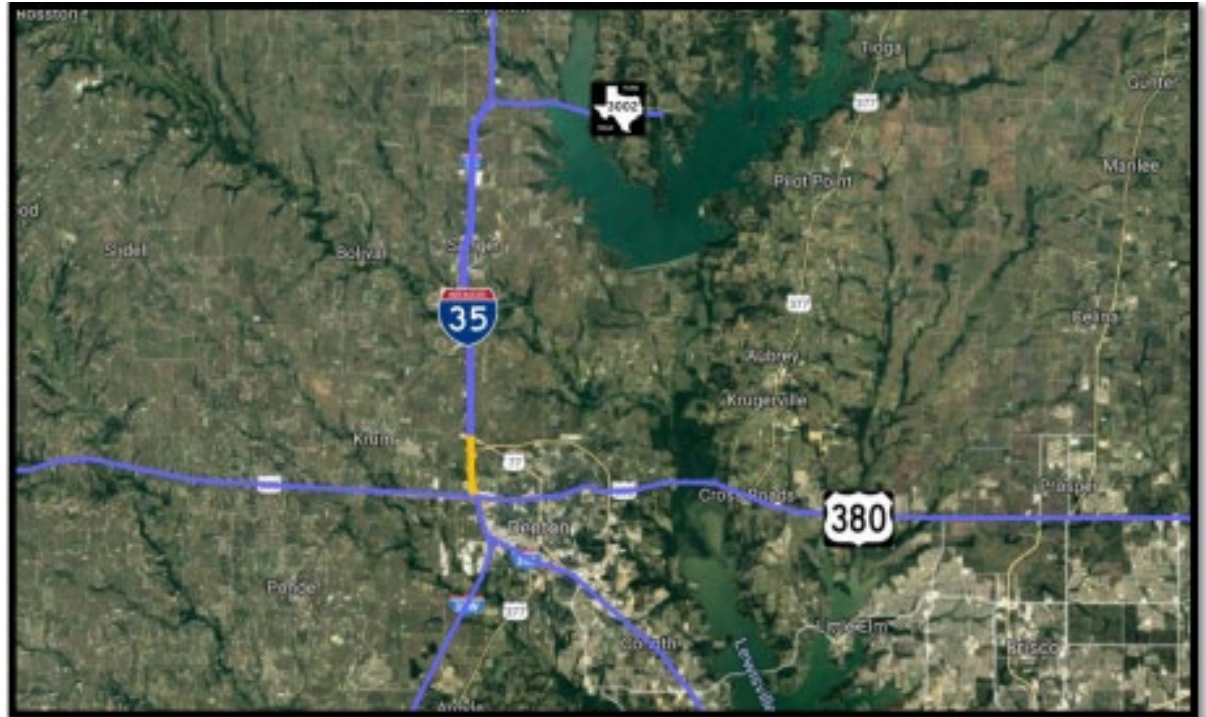
TXDOT Connect Let Date – September 2022



**IH-35W
4-to-6 Lane**

US 77 to FM 3002

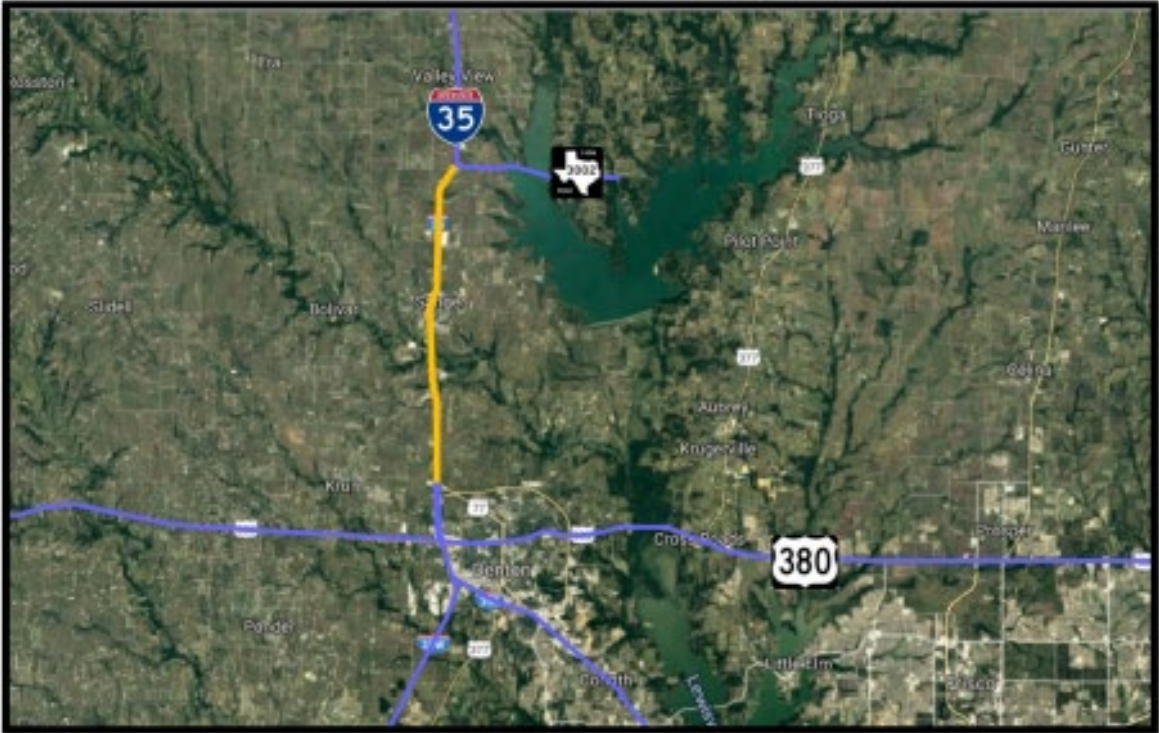
TXDOT Connect Let Date – September 2022



**IH-35W
4-to-6 Lane**

US 77 to FM 3002

TXDOT Connect Let Date – September 2022

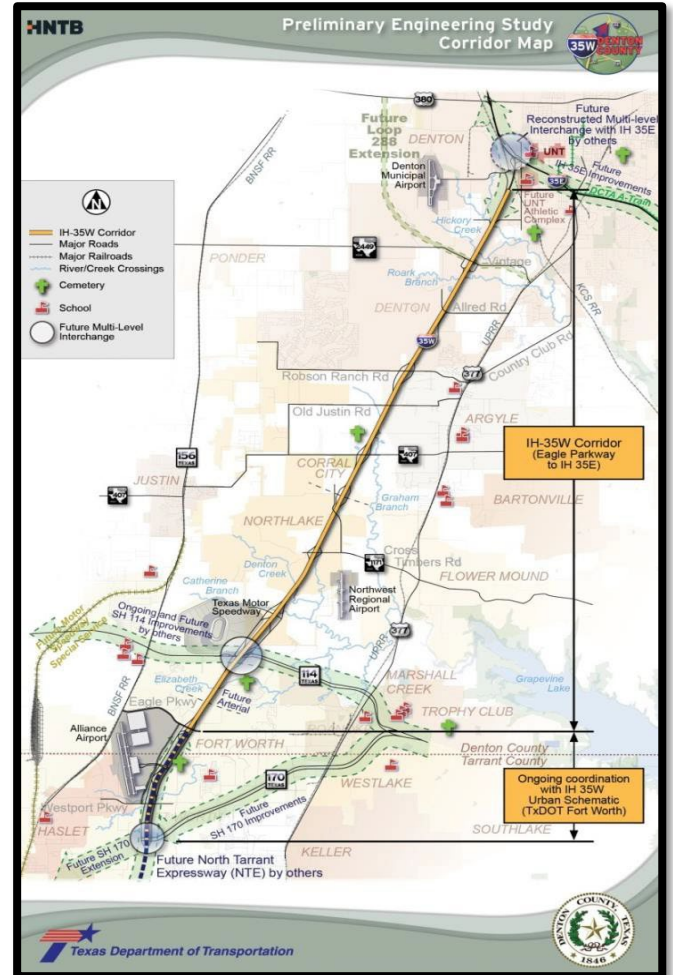


IH-35W
Main Lanes

SH 170 to
IH-35E

Project will widen and reconstruct from a 4-lane rural to a 6-lane urban freeway with ramp relocations.

Consultant is coordinating with the frontage roads project.



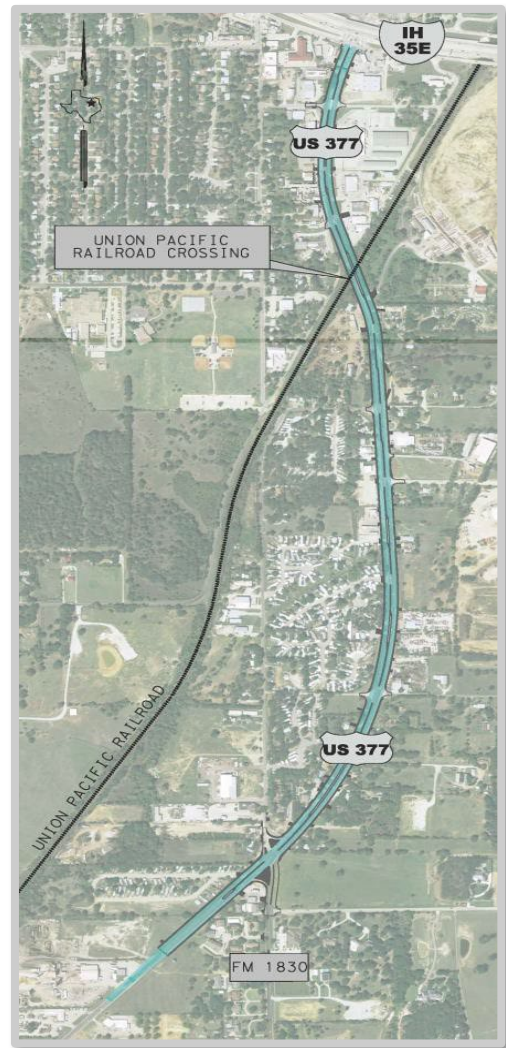
US 377 Denton Section

From IH-35E
to south of FM
1830

This project is widening US 377 from a 2-lane rural roadway to a 6-lane urban section and replacing the existing UPRR bridge.

Construction on the project began on January 2, 2019.

Completion expected in November 2020.



US 377 Roanoke Section

Henrietta Creek Road to SH 114

This project will widen existing 2-lane rural roadway to a 4-lane urban section with sidewalks and raised median.

Final plans are expected in September 2019. Utility relocations are underway and expected to be complete in November 2019.

The project will let for construction in November 2019.



US 377 Argyle Section

FM 1171 to Country Club Road

This project will reconstruct and widen existing 2-lane rural highway to a 4-lane divided urban roadway.

Schematic was approved January 2018. The environmental clearance was received on March 13, 2019.

The project is expected to let in January 2022.



Widen/construct four-lane divided urban roadway.

The project is expected to be completed by January 2020

FM 156

Section

**SH 114 to
.76 miles
North of FM
407**

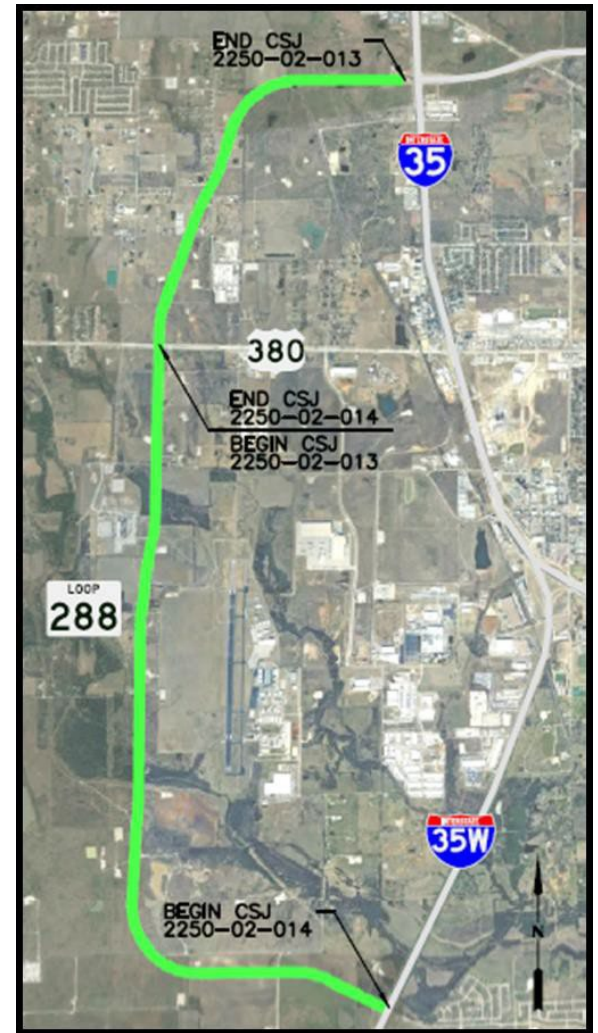


Loop 288

IH-35 to IH-35W

Project will construct controlled access freeway.

Consultant is working toward the 90% schematic submittal and approval expected in September 2019.



Questions?

If you have any questions about this document please don't hesitate to contact us at:

- www.dentoncounty.com
- Michael.talley@dentoncounty.com
- **Economic Development Office: 940.349.3010**



WHAT'S NEXT?

A touchpoint in the present, and a look toward the future.

LEWISVILLE

2025

V I S I O N



LEWISVILLE

2035

V I S I O N

Public input was essential in laying out a plan to successfully move Lewisville into the year 2025. Come share your ideas for Lewisville as we extend this vision 10 more years in the Lewisville 2035 vision plan.

Public Engagement Workshop

Medical City Lewisville Grand Theater, 100 N. Charles Street

January 29th • 6PM

www.cityoflewisville.com/touchpoint

